



ROBERT ELLIS

LEASING & INVESTMENT, INC.

FOR SALE OR LEASE

*Attached 6 Level
Parking Garage*

*Commercial Building
"Former Gottschalks"*

*Great Signage
and Exposure*



840-860 Fulton Mall
SEC Kern Street
Fresno, California

30,000± - 160,000± Square Feet

- Available immediately, ready to occupy.
- Affordable rent \$.75 per square foot.
- Adjacent to Grizzly Stadium entrance.
- Great site for arcade, movie theatre, department store or other commercial uses or professional office use, government, back office / call center, etc.
- New loft apartments under construction on the block.

For Further Information, Contact:

Robert E. Ellis
(559) 228-8900

860 Fulton Mall

First Floor	Approximately 31,000± square feet
Mezzanine	Approximately 6,200± square feet
Second Floor	Approximately 31,000± square feet
Basement	Approximately 32,000± square feet
Total	Approximately 100,200± square feet

SALE PRICE

\$6,250,000.00 (\$62.50 per square foot). All cash or terms acceptable to Seller.

840 Fulton Mall - City Owned (Sublease thru 6/30/19) - NOT FOR SALE

First Floor	Approximately 26,000± square feet
Basement	Approximately 29,000± square feet
Total	Approximately 55,000± square feet

MONTHLY RENT

\$.75 per square foot, triple net

TENANT IMPROVEMENTS

Negotiable based on terms of lease and credit of tenant. All heating, cooling and air conditioning, roof, electrical and plumbing to be in good working order by Landlord.

COMMENTS

- * All floors available by elevator.
- * Fully sprinklered building.
- * Walking distance to restaurants, hotels and the courthouses.
- * Strong and growing Downtown commercial market.
- * Hard to find larger floor plate lease space.

DOWNTOWN FRESNO



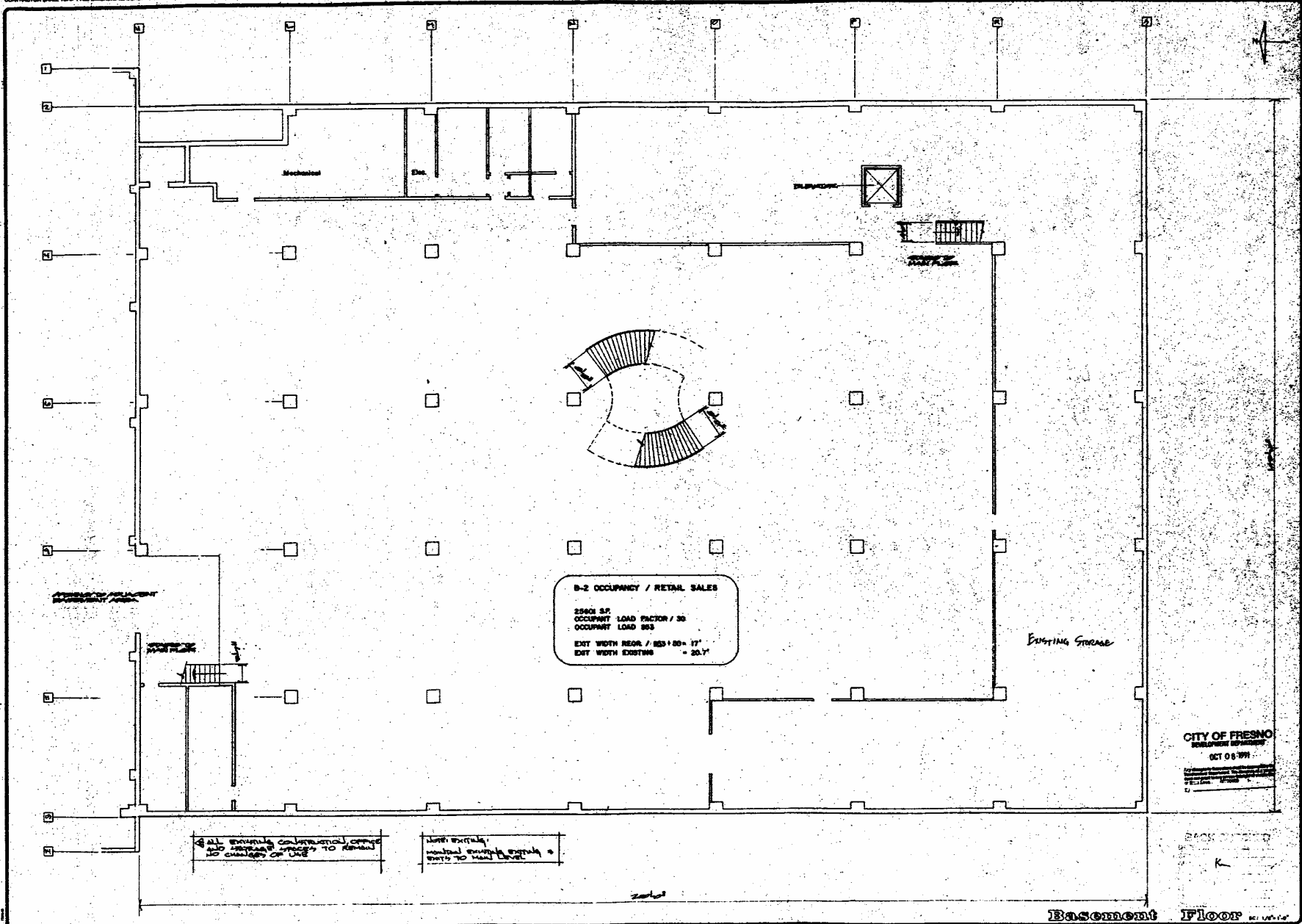
- 1 Trade Center
- 2 NEW IRS Building & Garage
- 3 Bank of Italy

- 4 JCPenney Building
- 5 887 Fulton Mall
- 6 2115 Kern Street

- 7 Tower at Convention Court
- 8 Mexican Consulate
- 9 Fresno City Hall

- 10 Grizzlies Stadium
- 11 Community Hospital
- 12 New Federal Courthouse

CONTRACTOR SHALL VERIFY ALL DIMENSIONAL CONDITIONS AND SPECIFICATIONS PRIOR TO COMMENCING ANY PORTION OF WORK. ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES ARE TO BE REPORTED TO THE ENGINEER OR ARCHITECT IMMEDIATELY. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE ORDINANCES, CODES, ORDINANCES AND RESTRICTIONS. INFORMATION FROM PLANS OR SPECIFICATIONS RELEASES THE ENGINEER OR ARCHITECT OF ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED.



B-2 OCCUPANCY / RETAIL SALES
25000 S.F.
OCCUPANT LOAD FACTOR / 30
OCCUPANT LOAD 833
EXT WIDTH REOR. / 833' x 30' = 19'
EXT WIDTH EXISTING = 20.1'

ALL EXISTING CONSTRUCTION CHANGES AND REPAIRS SUBJECT TO PERMITS
NO CHANGE OF USE

NO NEW EXISTING
CONSTRUCTION SUBJECT TO PERMITS
NO CHANGE OF USE

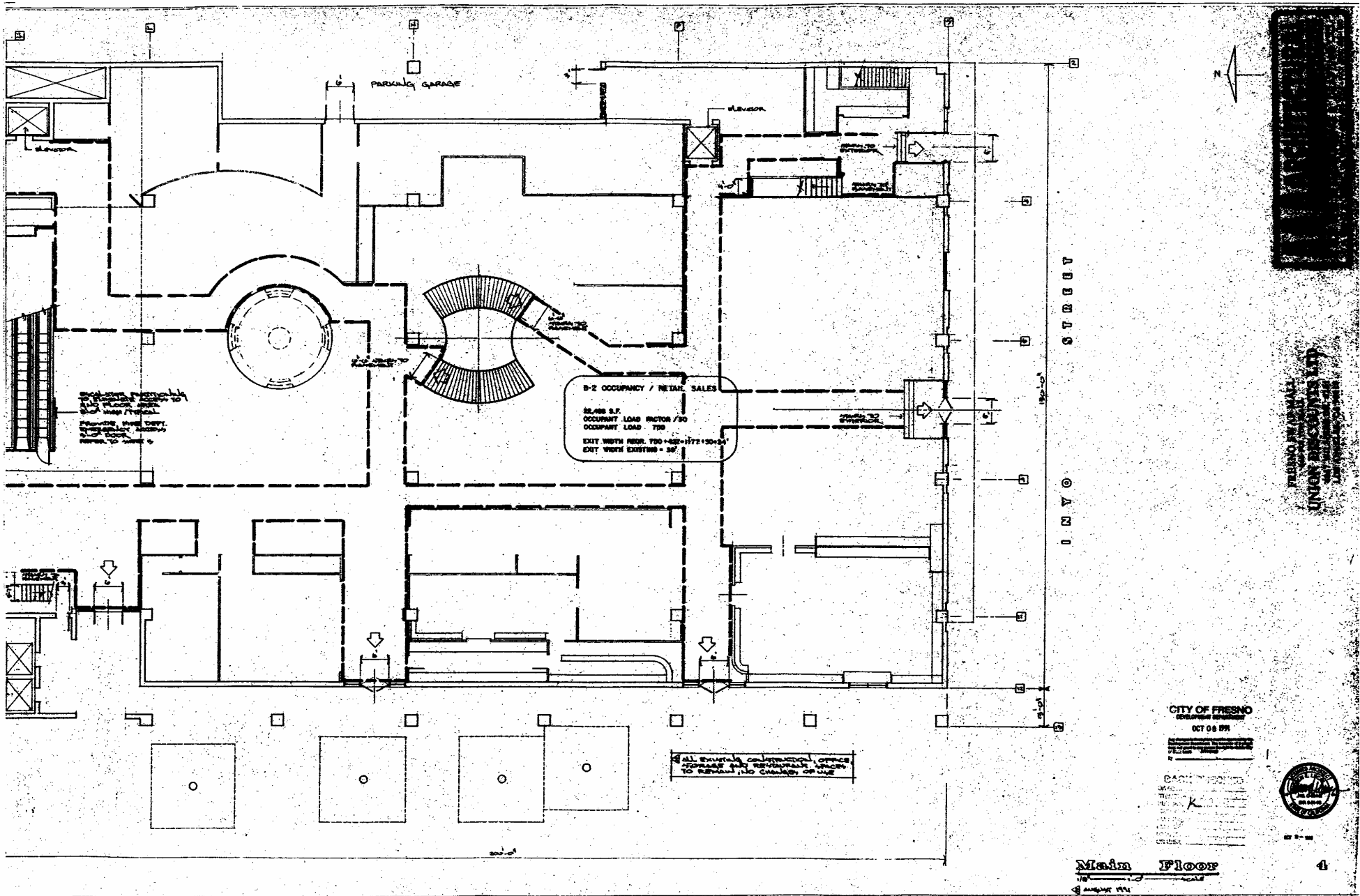
CITY OF FRESNO
OCT 06-2011

Basement Floor

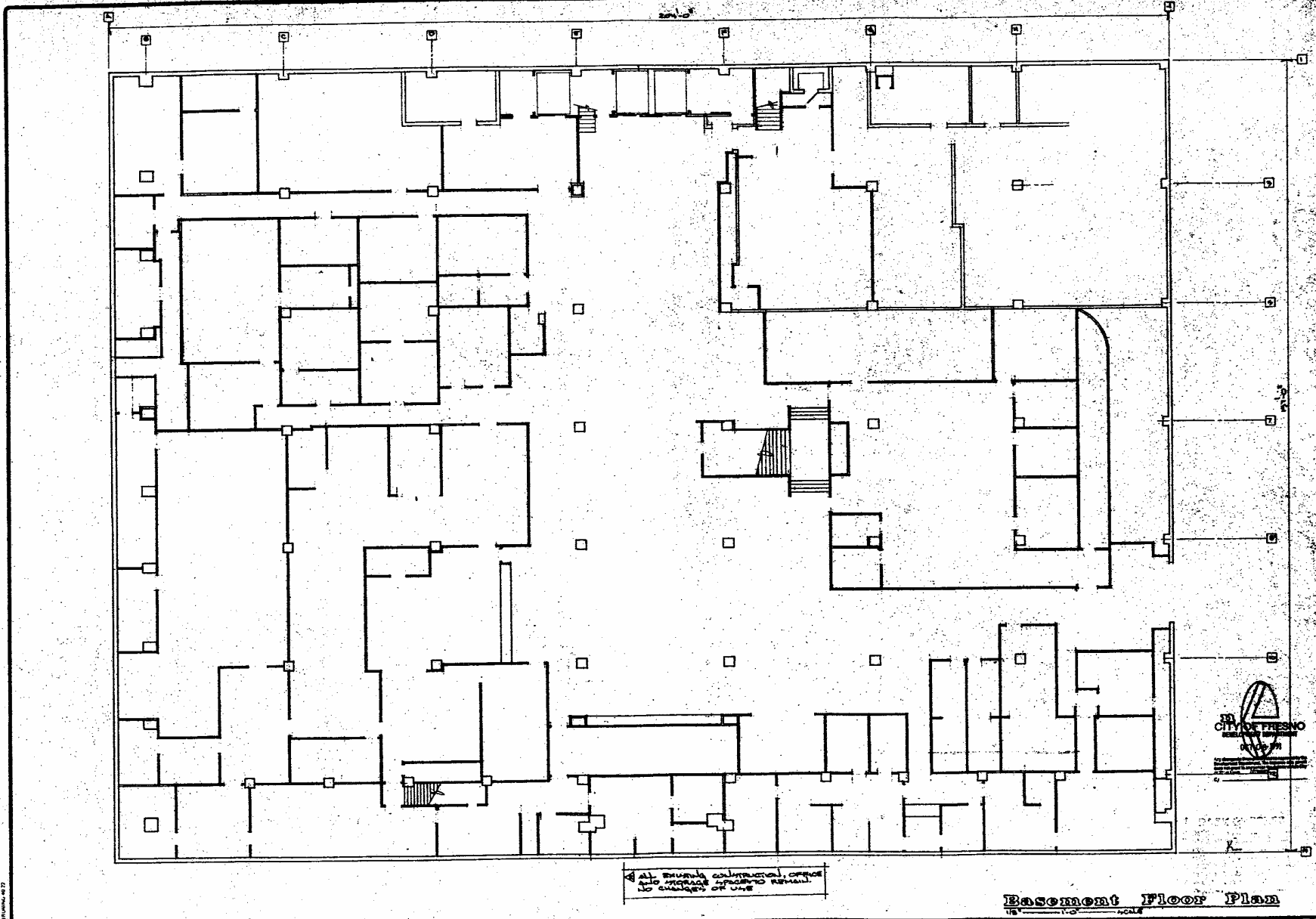
Vertical title block on the right side of the plan, containing a north arrow, a circular seal of the City of Fresno, and various project information fields.

ALL PERSONS AND APPLIANCES REPRESENTED BY THE ABOVE DIMENSIONS AND SPECIFICATIONS ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT OR ENGINEER AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE FIRST PREPARED AND DEVELOPED, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

Floor Plan - 840 Fulton Mall - Basement - Approximately 29,000 square feet (143' x 200')



Floor Plan ■ 840 Fulton Mall ■ Main Floor ■ Approximately 26,000± square feet (130' x 200')



860 FULTON MALL
 BASEMENT FLOOR PLAN



PROJECT NO. 100-1000
 SHEET NO. 1
 DATE: 10/1/88

SHEET TITLE
 SHEET NUMBER
 1

THE LINES, DIMENSIONS AND APPROPRIATIONS REPRESENTED BY THE ABOVE DRAWINGS AND SPECIFICATIONS ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT OR ENGINEER AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

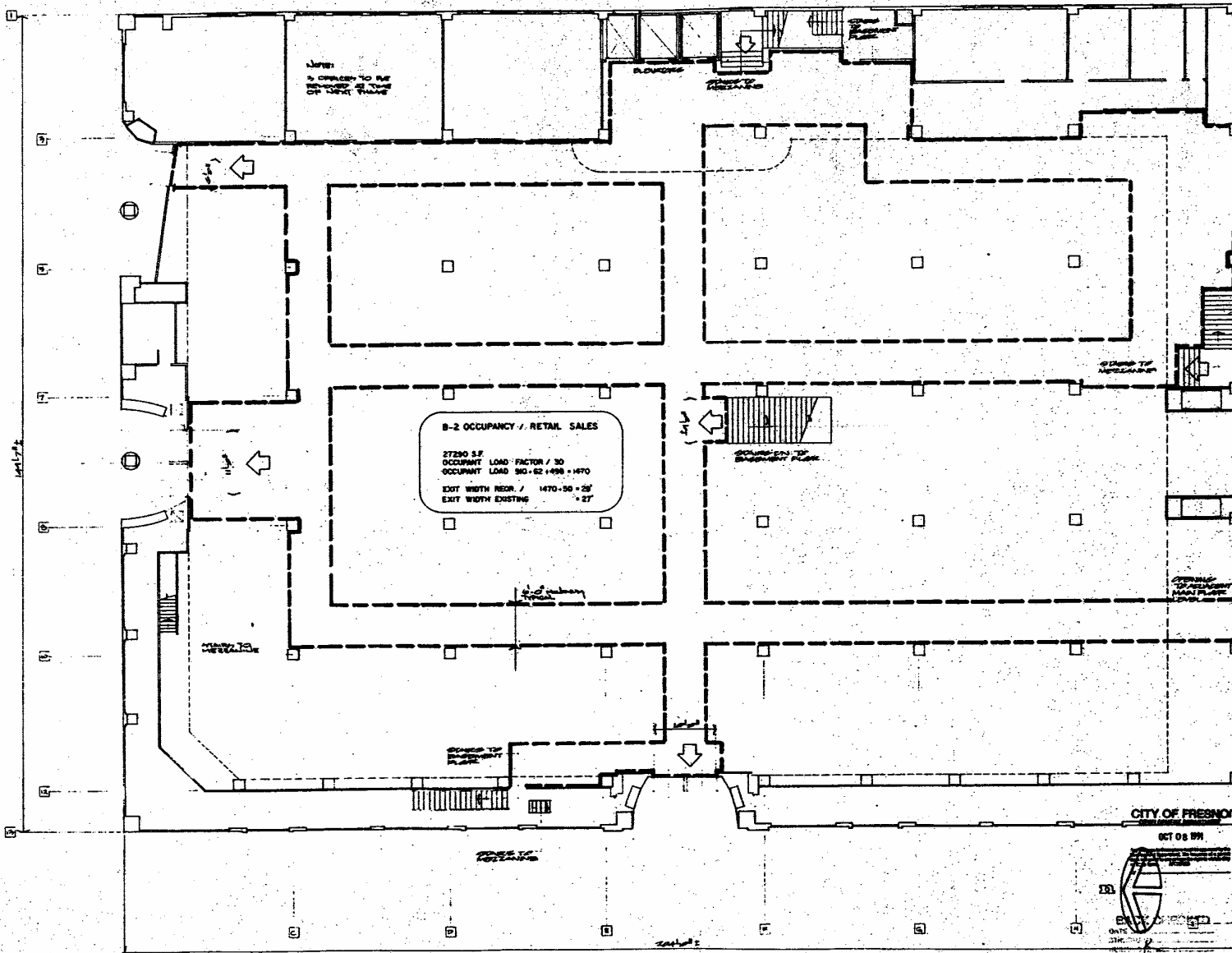
Floor Plan ■ 860 Fulton Mall ■ Basement ■ Approximately 32,028 square feet (157' x 204')

AAA ARCHITECTURAL
Architect
ENGINEERING & DRAFTING CO.
101 N. FRENCH ST., FRESNO, CA 93701 • (209) 486-2800 • FAX (209) 486-1810

TRISNO SWAP MAIL,
860 FULTON MALL,
UNION DISCOUNTS LTD
4647 WILSHIRE DR. 0261
LOS ANGELES, CA 90010



DATE	10/06/99
BY	AAA
CHECKED BY	AAA
SCALE	AS SHOWN
PROJECT NO.	
DATE	
BY	
CHECKED BY	
SCALE	
PROJECT NO.	



- MINIMUM REVISIONABLE WIDTHS**
- 36" — 1'- SIDE PRODUCT AISLE
 - 44" — 2'- SIDE PRODUCT AISLE
 - 44" — TRAFFIC AISLE
 - MINIMUM PARTITION HEIGHT — 8'-0"
- NON-BURNING STORAGE REQUIREMENTS**
- MINIMUM: SHOPS SHALL BE OF CELLULOSIC ACETIC PLASTIC AT LEAST UP TO THROATLINE OF JOINT ABOVE METAL OR OF AN APPROVED STEEL ALLOYING. OTHER NON-BURNING SHALL BE EXPRESSLY INDICATED.
 - RESTROOMS: ALL SHOWS/STANDS SHALL BE CONCRETE BLOCK, SETTING AT LEAST 1" AWAY FROM A MINIMUM 2" THICK STAIRS.
 - CORERS AND STRAPS:**
 - ALL SHOWS/STANDS SHALL HAVE A RED FIBER OPTIC LIGHT SYSTEM ON THE STAIRS.
 - SHOWS/STANDS FOR SHOWS SHALL HAVE A GREEN FIBER OPTIC LIGHT SYSTEM ON THE STAIRS.
 - SHOWS/STANDS INCLUDING SHOWS SHALL HAVE THE APPROPRIATE SIGNAGE INCLUDING AT LEAST A 7" SIGNATURE CHECK AND A CHECK OF SIGNATURE INCLUDING THE NAME AND SIGNATURE OF THE OWNER. THE SIGNATURE SHALL ALSO BE ACCOMPANIED BY A SIGNATURE OF THE ARCHITECT AND CONTRACTOR.
 - POSTING:** ALL SHOWS SHALL BE PERMANENTLY ATTACHED TO WALLS OR CORERS TO PREVENT MOVEMENT AND TO BE A MINIMUM OF 2" AWAY FROM THE WALL OR CORER.
 - POSTING HEIGHT:** SHOWS SHALL BE MOUNTED AT LEAST 18" FROM THE FLOOR AND SHALL BE MOUNTED FROM THE TOP OF THE FLOOR.
 - SHOWS/STANDS:** SHOWS/STANDS SHALL BE MOUNTED TO THE FLOOR AND SHALL BE MOUNTED TO THE FLOOR AND SHALL BE MOUNTED TO THE FLOOR.
- NOTES:** ALL EXISTING CONSTRUCTION WORK AND EXISTING SPACES TO REMAIN TO BE SHOWN ON THIS PLAN.

All existing construction work and existing spaces to remain to be shown on this plan.

Main Floor
SCALE: 1/8" = 1'-0"

Floor Plan ■ 860 Fulton Mall ■ Main Floor ■ Approximately 31,000± square feet (150' x 204')

